

ABBREVIATIONS			
A.F.F.	ABOVE FINISHED FLOOR	M.O.	MASONRY OPENING
ACT.	ACTUAL	MECH.	MECHANICAL
A	ARC	MTL.	METAL
@	AT		
B.O.	BOTTOM OF	NAT.	NATURAL
B.L.	BUILDING LINE	NOM.	NOMINAL
B.R.L.	BUILDING RESTRICTION LINE	N.I.C.	NOT IN CONTRACT NUMBER
		NO.	
CL	CLOSET	O.C.	ON CENTER
CL	CENTER LINE		
CMU	CONCRETE MASONRY UNIT	PTD	PAINTED
C	COURSE-(S) (ING)	P.T.	PRESSURE TREATED PROPERTY LINE
		PL	
Ø	DIAMETER		
DW	DISHWASHER	QTR RND	QUARTER ROUND
DN	DOWN		
DS	DOWNSPOUT	R	RADIUS
DWG.	DRAWING	REF. EL.	REFERENCE ELEVATION
		REF.	REFRIGERATOR
ELEC.	ELECTRIC	RX	REMOVE EXISTING
ELEV.	ELEVATION	R	RISER
EQ.	EQUAL	RM	ROOM
EV	EVERY	RR	ROOF RAFTER(S)
EXST.	EXISTING	R.H.	ROUGH HEAD
EX	EXISTING	R.O.	ROUGH OPENING
EXT.	EXTERIOR		
		S.H.	SILL HEIGHT
FT.	FEET	SQ.	SQUARE
F.F.	FINISHED FLOOR		
FPHB	FROST PROOF HOSE BIB	THRU	THROUGH
		T.O.	TOP OF
GYP. BD.	GYPHUM BOARD	T	TREAD
		TYP.	TYPICAL
H	HEIGHT		
HVAC	HEATING, VENTILATION & AIR CONDITIONING	U.N.O.	UNLESS NOTED OTHERWISE
		V.I.F.	VERIFY IN FIELD
INT.	INTERIOR		
		W	WIDTH
LVL.	LEVEL	W/	WITH
LF	LINEAR FEET	WD.	WOOD

DRAWING INDEX

0001	COVER SHEET
A100	EXISTING AND PROPOSED BZA SITE PLANS
A300	DEMOLITION AND PROPOSED BASEMENT FLOOR PLANS
A301	DEMOLITION AND PROPOSED FIRST FLOOR PLANS
A302	DEMOLITION AND PROPOSED SECOND FLOOR PLANS
A303	DEMOLITION AND PROPOSED THIRD FLOOR PLANS
A400	EXISTING AND PROPOSED EXTERIOR ELEVATIONS


GENERAL NOTES

- GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY IN THE DOCUMENTS OR EXISTING CONDITIONS. WORK THAT PROCEEDS WITHOUT NOTIFYING THE ARCHITECT IS AT THE CONTRACTOR'S OWN RISK.
- BEFORE COMMENCEMENT OF ANY WORK THAT CHANGES THE CONTRACT SUM OR CONTRACT TIME, WRITTEN AUTHORIZATION MUST BE OBTAINED FROM THE ARCHITECT. WORK THAT PROCEEDS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT IS AT THE CONTRACTOR'S OWN RISK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK, THIS INCLUDES BUT IS NOT LIMITED TO:
 - PRE-BID SITE VISIT FOR VERIFICATION OF EXISTING CONDITIONS.
 - FIELD DIMENSIONS AS REQUIRED
 - CONCEALMENT OF MECHANICAL/ELECTRICAL SERVICES BEHIND BUILDING FINISHES UNLESS NOTED OTHERWISE.
 - LOCATION OF MECHANICAL/ELECTRICAL SERVICES BEHIND BUILDING FINISHES UNLESS NOTED OTHERWISE.
- CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION FOR THIS PROJECT.
- THE MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL BE UPDATED AS REQUIRED. GENERAL CONTRACTOR SHALL PROVIDE PROPOSALS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT AND OWNER.

Pashayan Residence

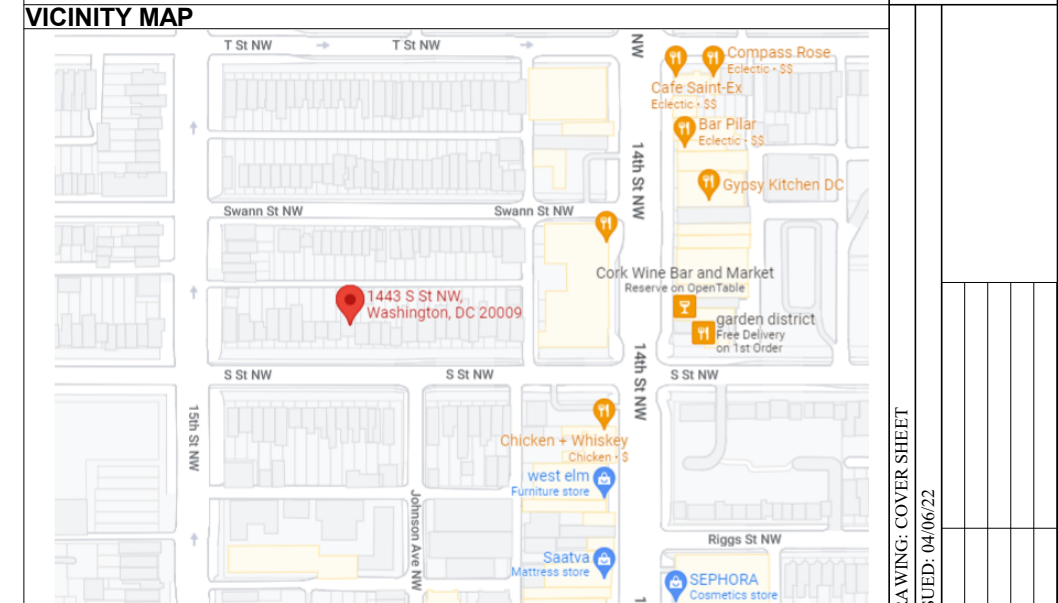
1443 S STREET NW #1
WASHINGTON, DC 20009

PROPOSED SCOPE	
<ul style="list-style-type: none"> CONVERT EXISTING WOOD DECK TO LIVING SPACE AT THE FIRST FLOOR LEVEL. ADD NEW DECK OVER EXISTING CONCRETE PATIO. REMOVE SPIRAL STAIRCASE FOR WOOD STAIRS FROM UNIT #2 DOWN TO GRADE. 	

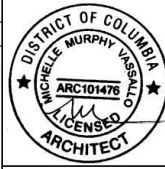
GENERAL DATA			2206
ADDRESS: 1443 S STREET NW #1 LOCATION: QUADRANT NW / SQUARE 0206 / LOT 0016 PROPOSED USE: 2 FAMILY DWELLING UNITS ZONING DISTRICT: RF-2	NO. DWELLING UNITS: UNCHANGED NO. PARKING SPACES: UNCHANGED LEFT YARD SETBACK: UNCHANGED RIGHT YARD SETBACK: UNCHANGED REAR YARD SETBACK: UNCHANGED NO. OF STORIES: UNCHANGED BUILDING HEIGHT: UNCHANGED LOT AREA (LA): EXISTING: 2,040 SF / UNCHANGED BUILDING AREA (BA): EXISTING: 1,087 SF / PROPOSED: 1,365 SF LOT OCCUPANCY (BA / LA): EXISTING: 53% / PROPOSED: 67% BZA PERVIOUS SURFACE: EXISTING: 0% / UNCHANGED	EXISTING: 2 / UNCHANGED UNCHANGED UNCHANGED UNCHANGED EXISTING: 37'-10" / PROPOSED: 24'-10" EXISTING: 3 / UNCHANGED UNCHANGED EXISTING: 2,040 SF / UNCHANGED EXISTING: 1,087 SF / PROPOSED: 1,365 SF EXISTING: 53% / PROPOSED: 67% BZA EXISTING: 0% / UNCHANGED	 ARCHITECTS, LLC 4818 MacARTHUR BLVD NW www.mvarchitects.com TELE: 202.489.1103

APPLICABLE CODES
2015 INTERNATIONAL EXISTING BUILDING CODE AND 2017 DCMR 12J SUPPLEMENT 2015 INTERNATIONAL RESIDENTIAL CODE AND 2017 DCMR 12B SUPPLEMENT 2015 INTERNATIONAL ENERGY CODE WITH 2017 DCMR 12I SUPPLEMENT 2017 DC ENERGY CONSERVATION CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2014 NATIONAL ELECTRIC CODE 2015 INTERNATIONAL FUEL GAS CODE TITLE 12 DCMR

PROJECT TEAM	
ARCHITECT MV ARCHITECTS, LLC MICHELLE VASSALLO 202.489.1103 4818 MACARTHUR BLVD NW WASHINGTON, DC 20007	PROPERTY OWNER DON AND ANGELA PASHAYAN 1443 S STREET NW #1 WASHINGTON, DC 20009



NOTE:	GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND RESOLVE ALL DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. DISCREPANCIES OR COORDINATION ISSUES IN FIELD CONDITIONS OR IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ANY WORK THAT PROCEEDS OTHERWISE IS AT THE CONTRACTOR'S SOLE RISK AND RESPONSIBILITY.
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Pashayan Residence
1443 S STREET NW #1
WASHINGTON, DC 20009

DRAWING: COVER SHEET
ISSUED: 04/06/22

Board of Zoning Adjustment
District of Columbia
CASE NO. 20753
EXHIBIT NO. 5

0001

ZONING:

ADDRESS: 1443 S STREET, NW

LOCATION: QUADRANT NW / SQUARE 0206 / LOT 0016

PROPOSED USE: 2 FAMILY DWELLING UNITS

ZONING DISTRICT: RF-2

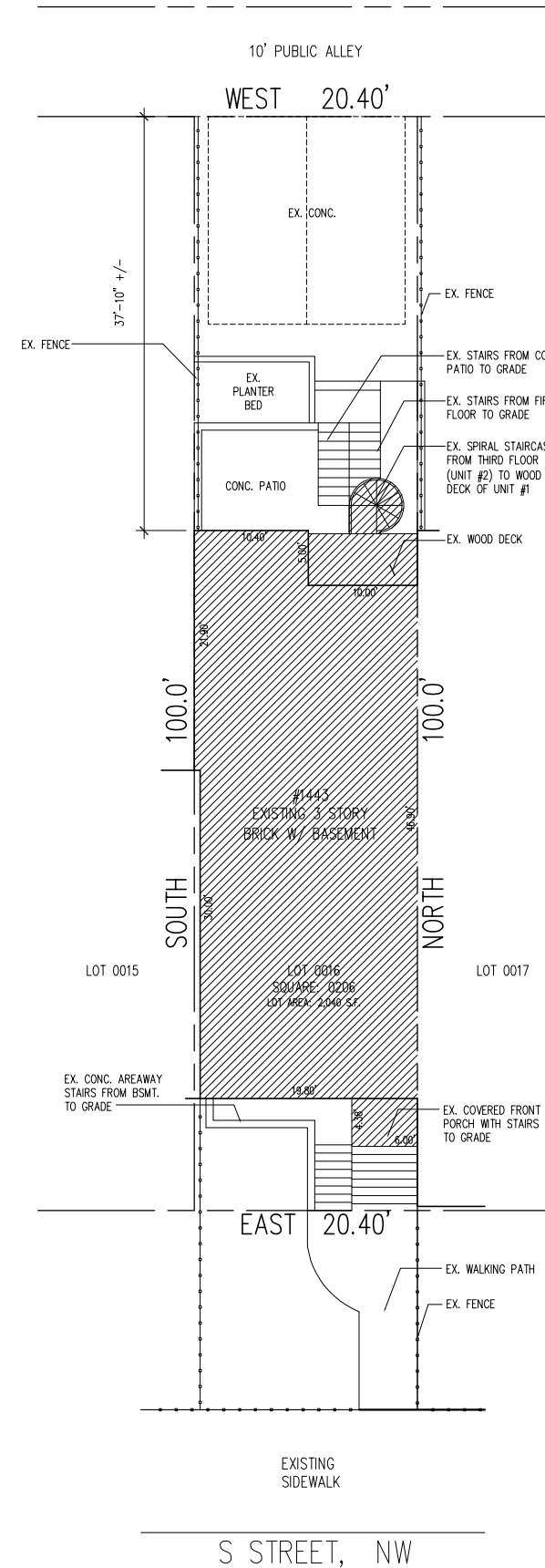
NO. DWELLING UNITS: EXISTING: 2 / PROPOSED: UNCHANGED

SIDE SETBACK: NONE
EXISTING: UNCHANGED / PROPOSED: UNCHANGED

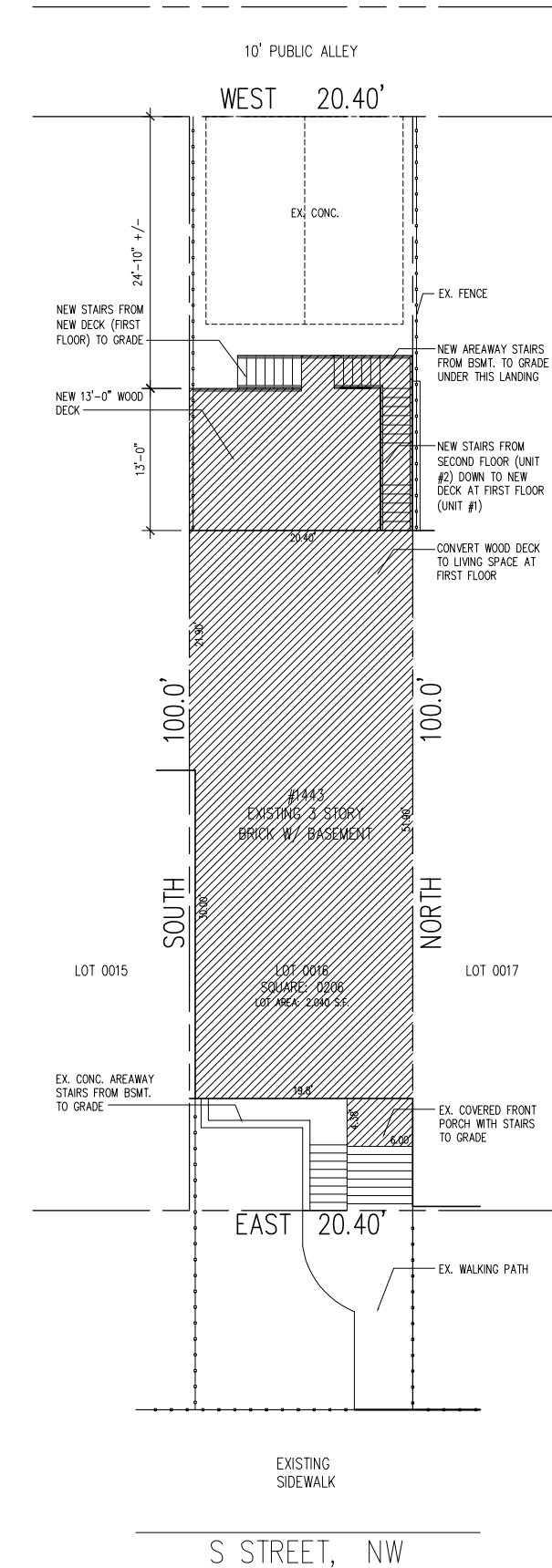
REAR YARD SETBACK: 20' MINIMUM
EXISTING: 37'-10" / PROPOSED: 24'-10"

LOT AREA: EXISTING: 2,040 SF / PROPOSED: UNCHANGED

LOT OCCUPANCY: 60% MAXIMUM
(HATCHED) EXISTING: 53% (1,087 SF) / PROPOSED: 67% (1,365 SF)



01 EXISTING SITE PLAN
A100 1/16"=1'-0"



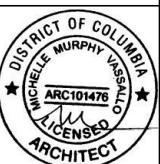
02 BZA SITE PLAN (67% LOT OCCUPANCY)
A100 1/16"=1'-0"



2206



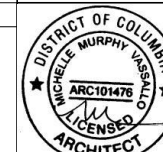
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Residence**
1443 S STREET NW #1
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DRAWING: EXISTING AND BZA SITE PLANS
ISSUED: 04/06/22




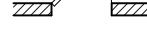



A100



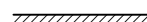

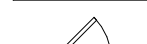



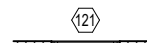
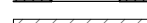

DEMOLITION NOTES

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3. REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
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5. LOCATE ALL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
6. REMOVE SUPPLY, VENT AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAPPED
7. PROTECT ALL FINISHES TO REMAIN

DEMOLITION LEGEND

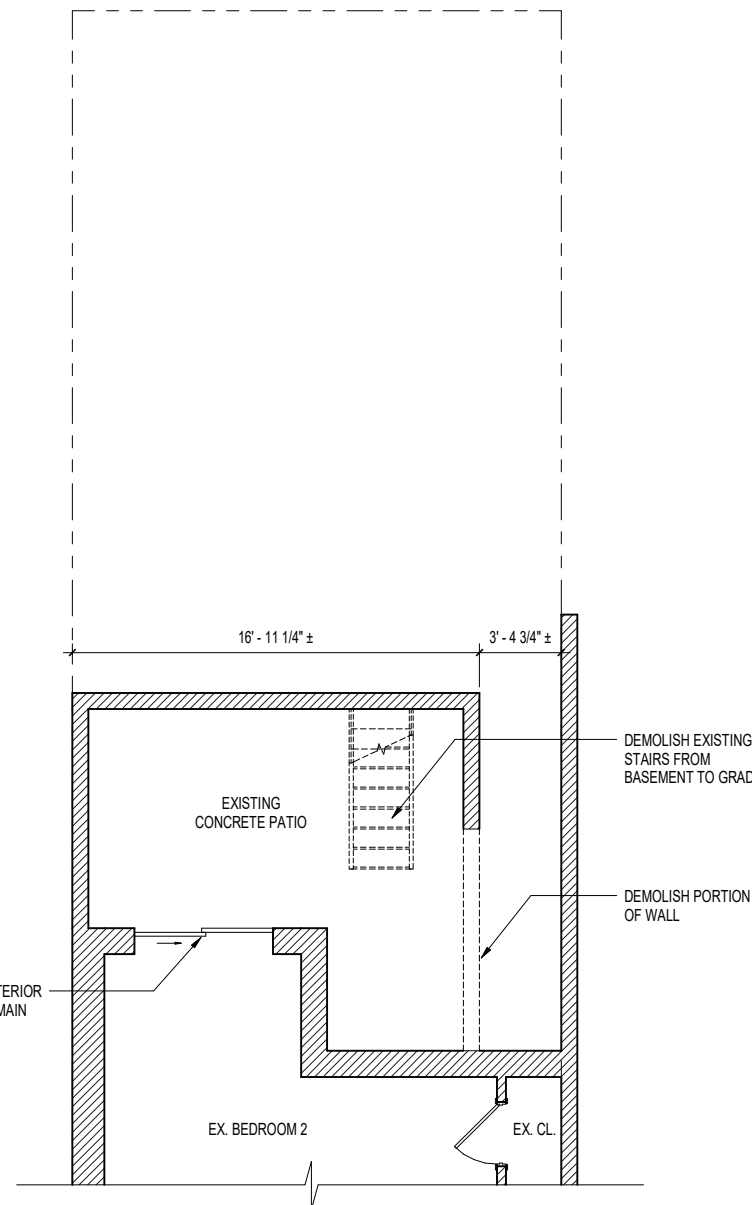
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED
	NOT IN SCOPE OF WORK

CONSTRUCTION LEGEND

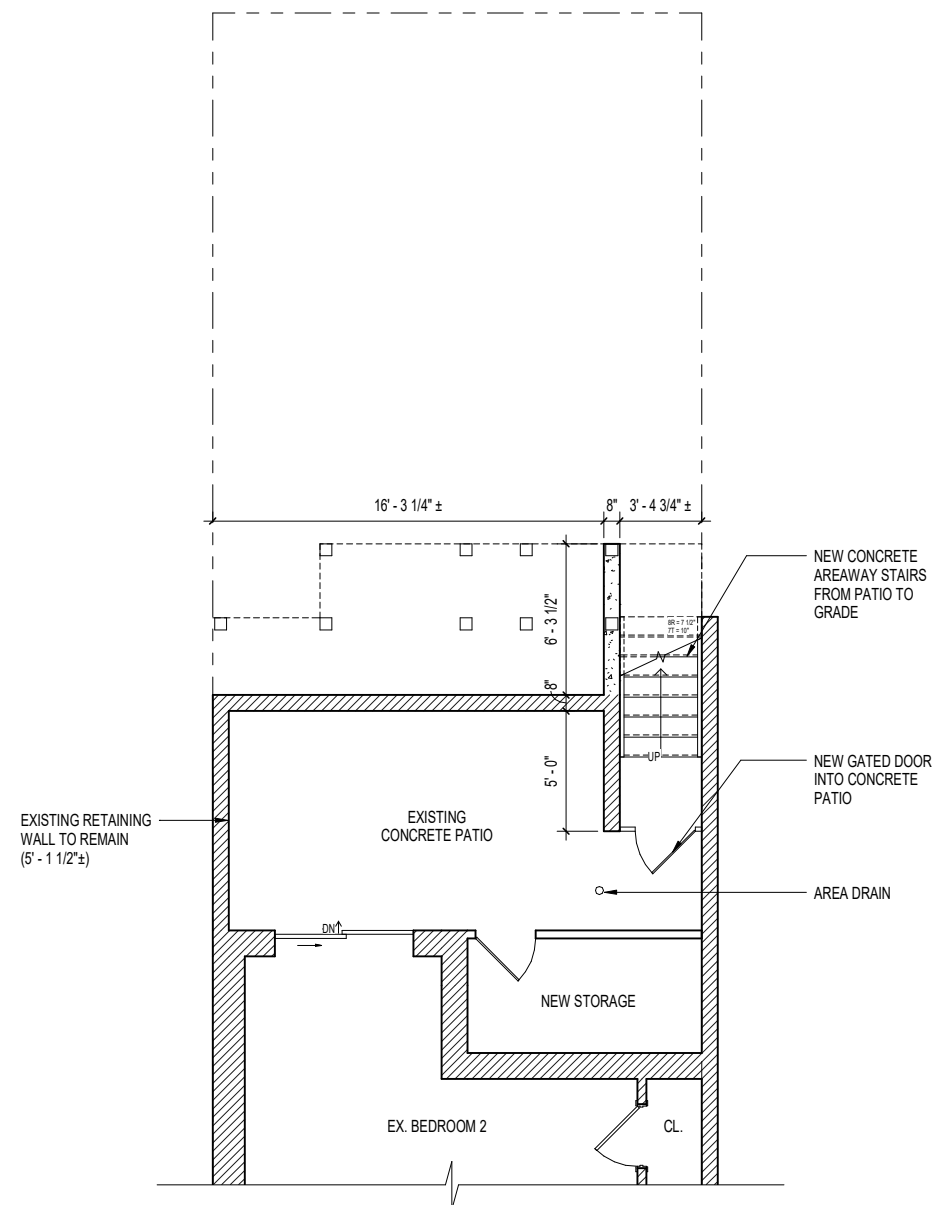
	EXISTING TO REMAIN
	NEW STUD WALL: 2x6 @16" O.C. EXT. WALLS U.N.O. 2x4 @16" O.C. INT. WALLS U.N.O.
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	NOT IN SCOPE OF WORK
	FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, U.N.O.)
	FINISH DIMENSIONS

NOTE:

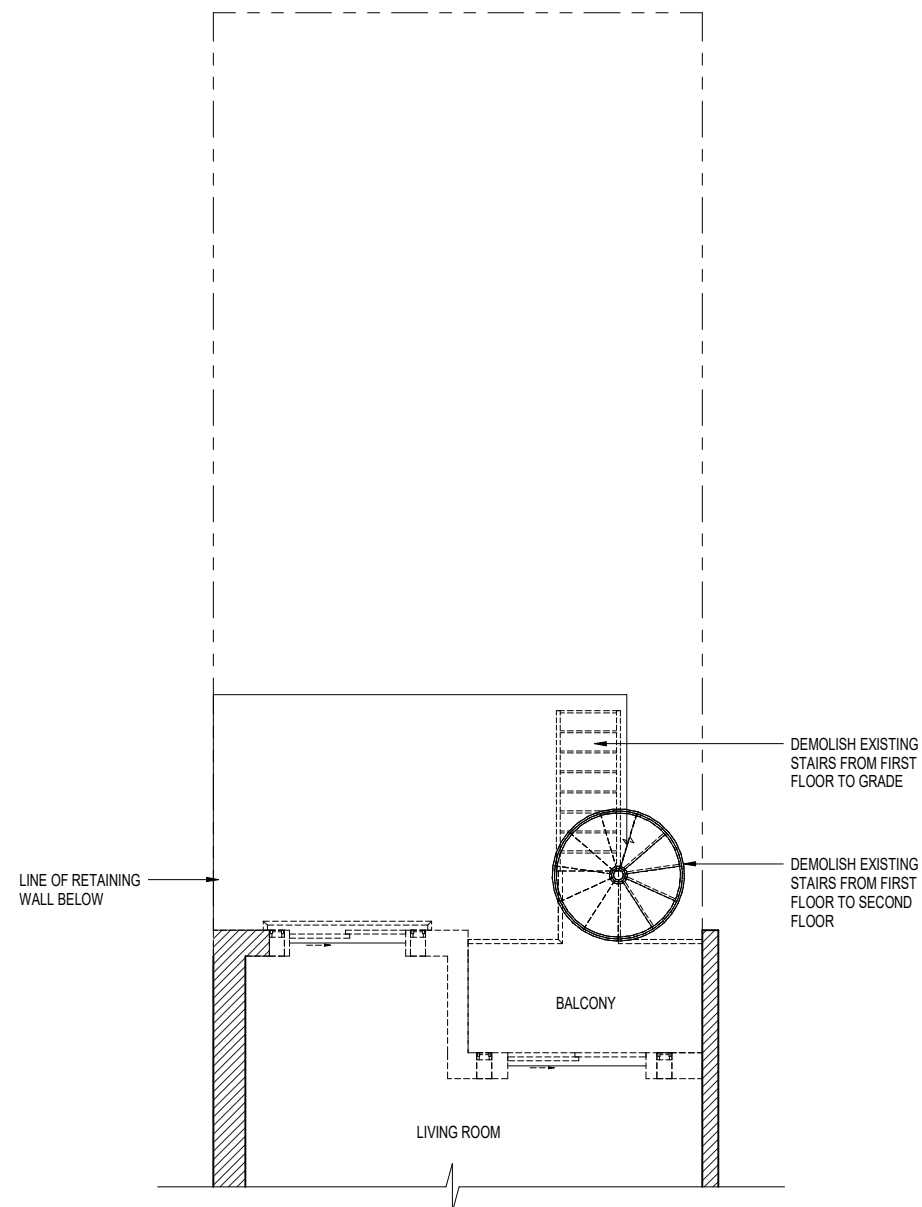
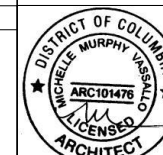
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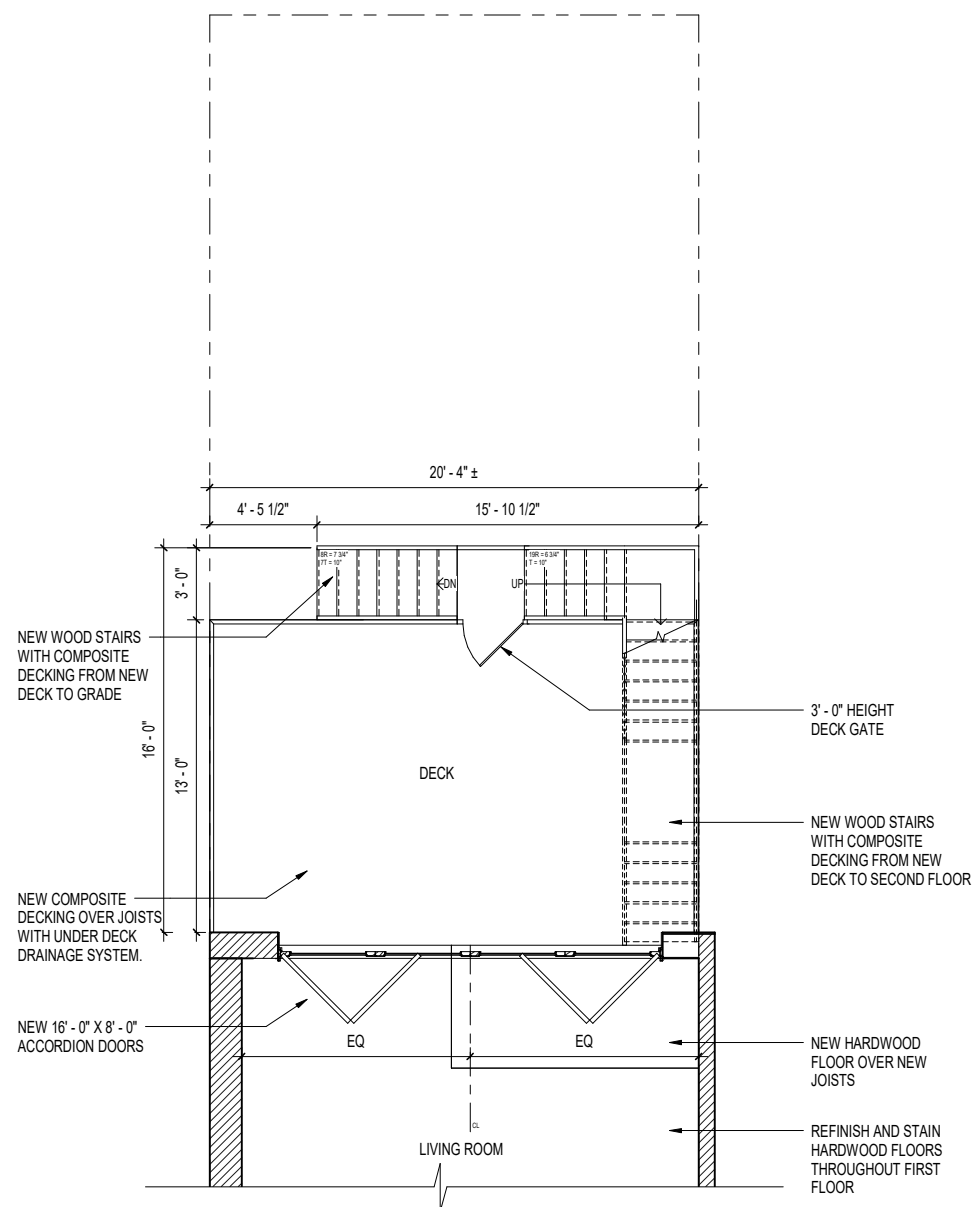
1 BASEMENT FLOOR DEMOLITION PLAN - UNIT #1
1/8" = 1'-0"



2 BASEMENT FLOOR PROPOSED PLAN - UNIT #1
1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN - UNIT #1
1/8" = 1'-0"



2 FIRST FLOOR PROPOSED PLAN - UNIT #1
1/8" = 1'-0"

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DEMOLITION LEGEND

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- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- NOT IN SCOPE OF WORK

CONSTRUCTION LEGEND

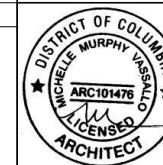
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- NOT IN SCOPE OF WORK
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- FINISH DIMENSIONS

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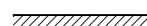
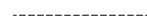
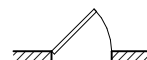

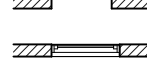


DRAWING: DEMOLITION AND PROPOSED FIRST FLOOR PLANS
ISSUED: 04/06/22



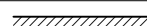
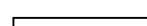
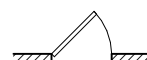


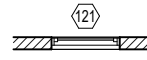

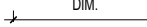

DEMOLITION NOTES

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DEMOLITION LEGEND

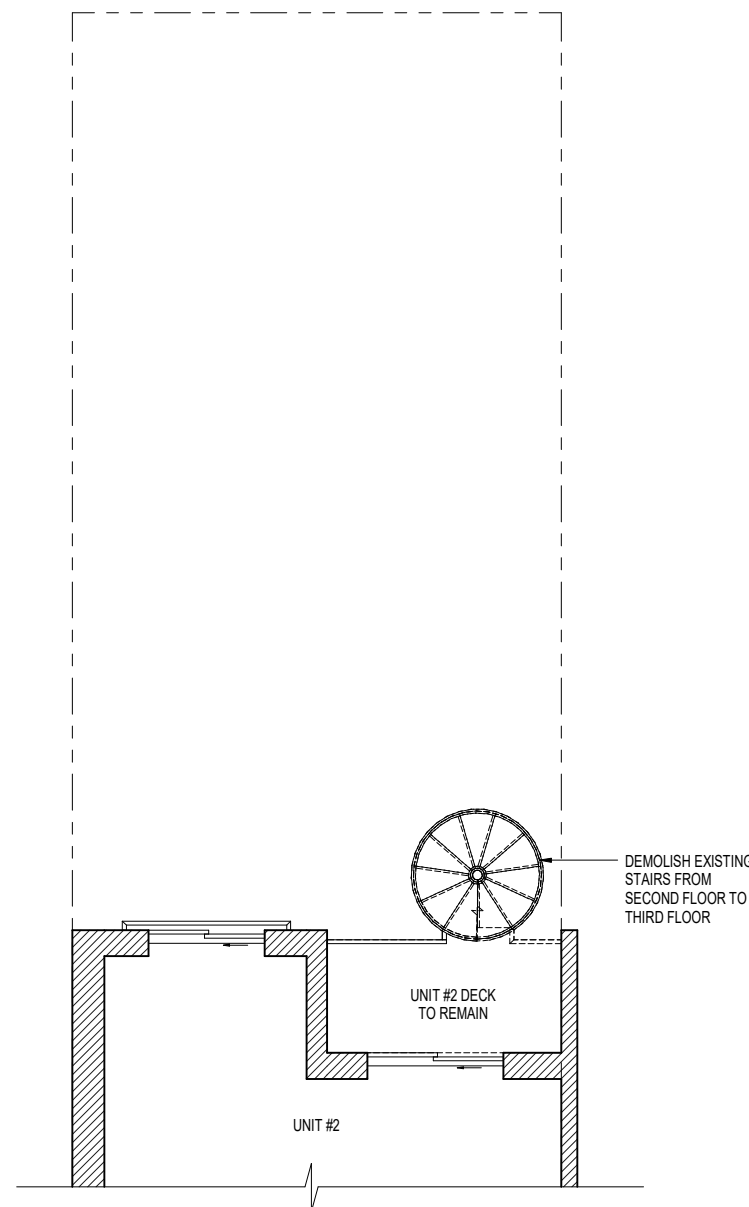
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	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
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	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED
	NOT IN SCOPE OF WORK

CONSTRUCTION LEGEND

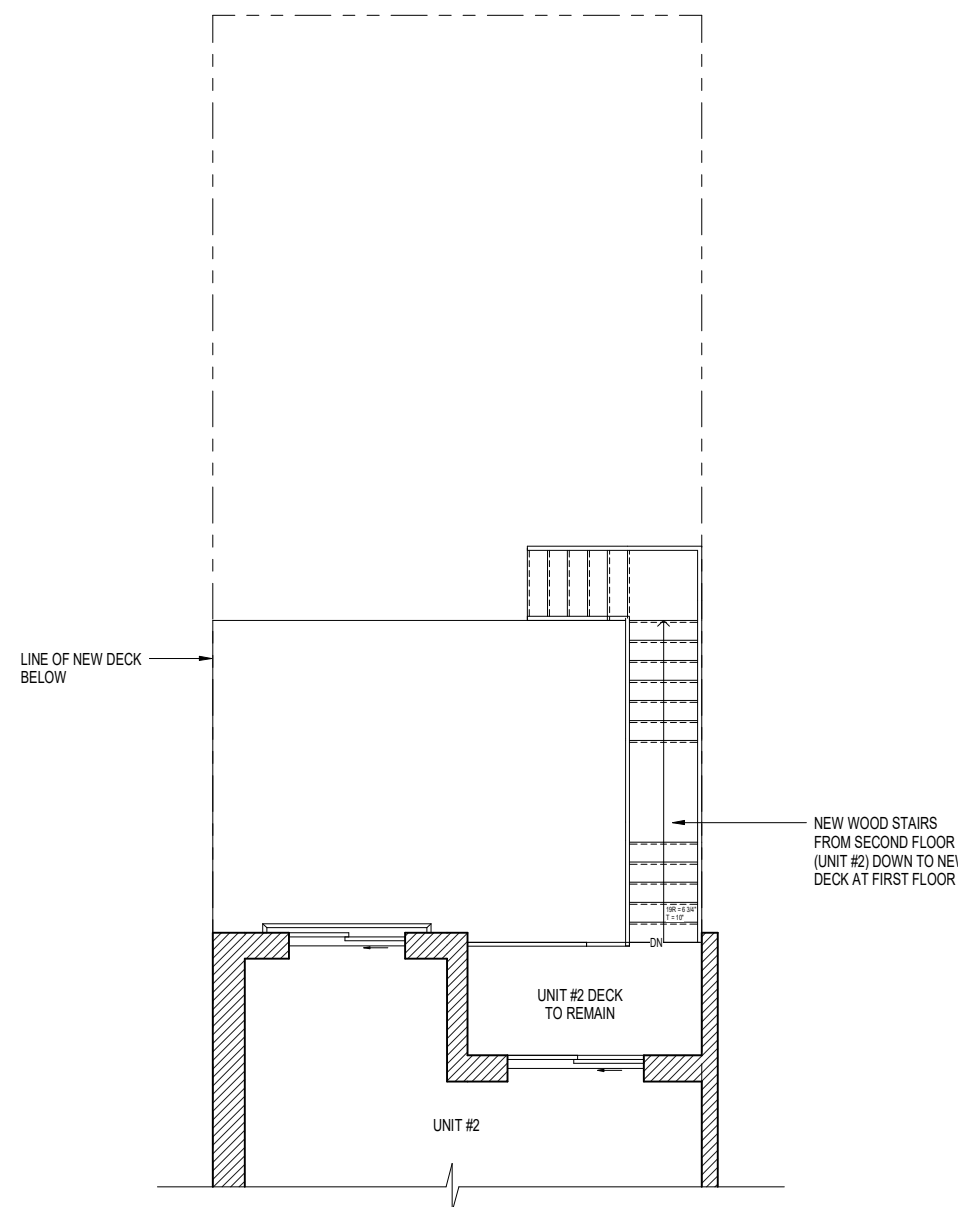
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1 SECOND FLOOR DEMOLITION PLAN - UNIT #2
1/8" = 1'-0"

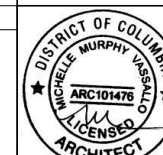


2 SECOND FLOOR PROPOSED PLAN - UNIT #2
1/8" = 1'-0"

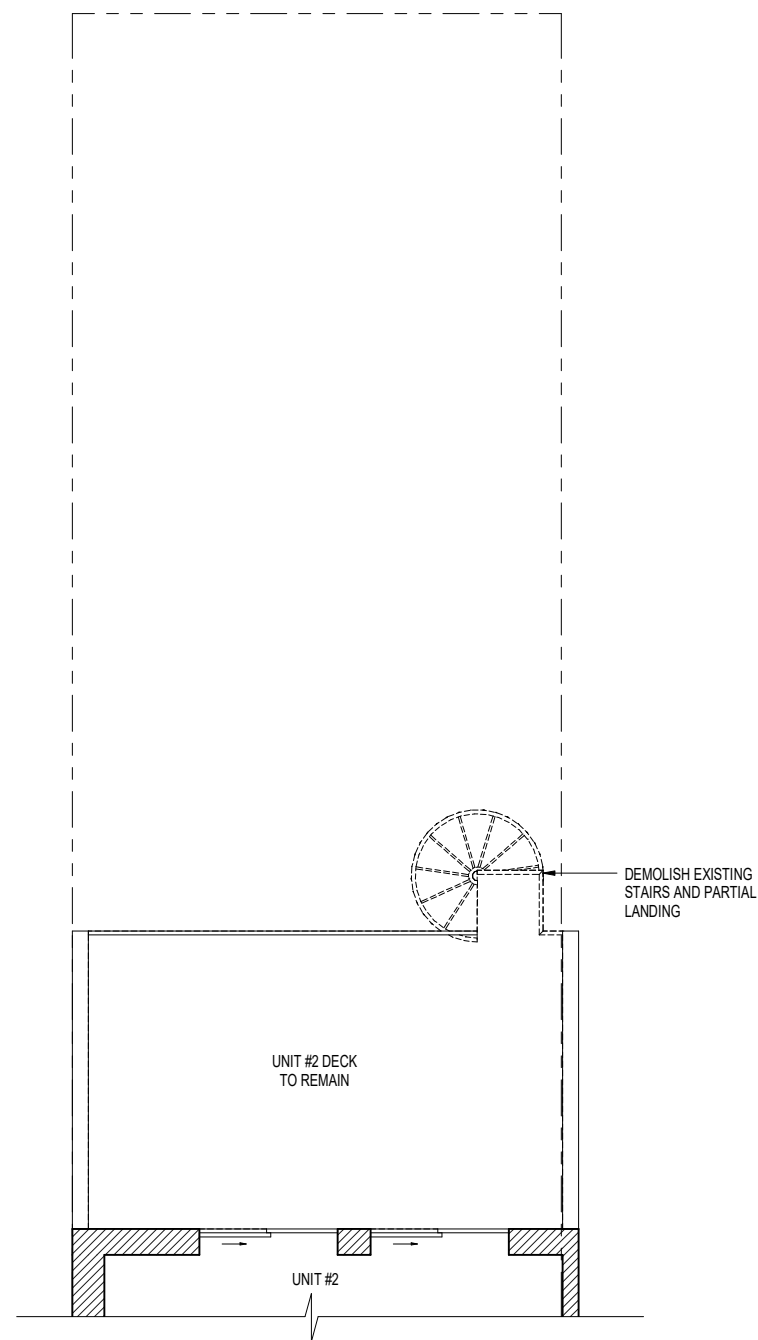
2206



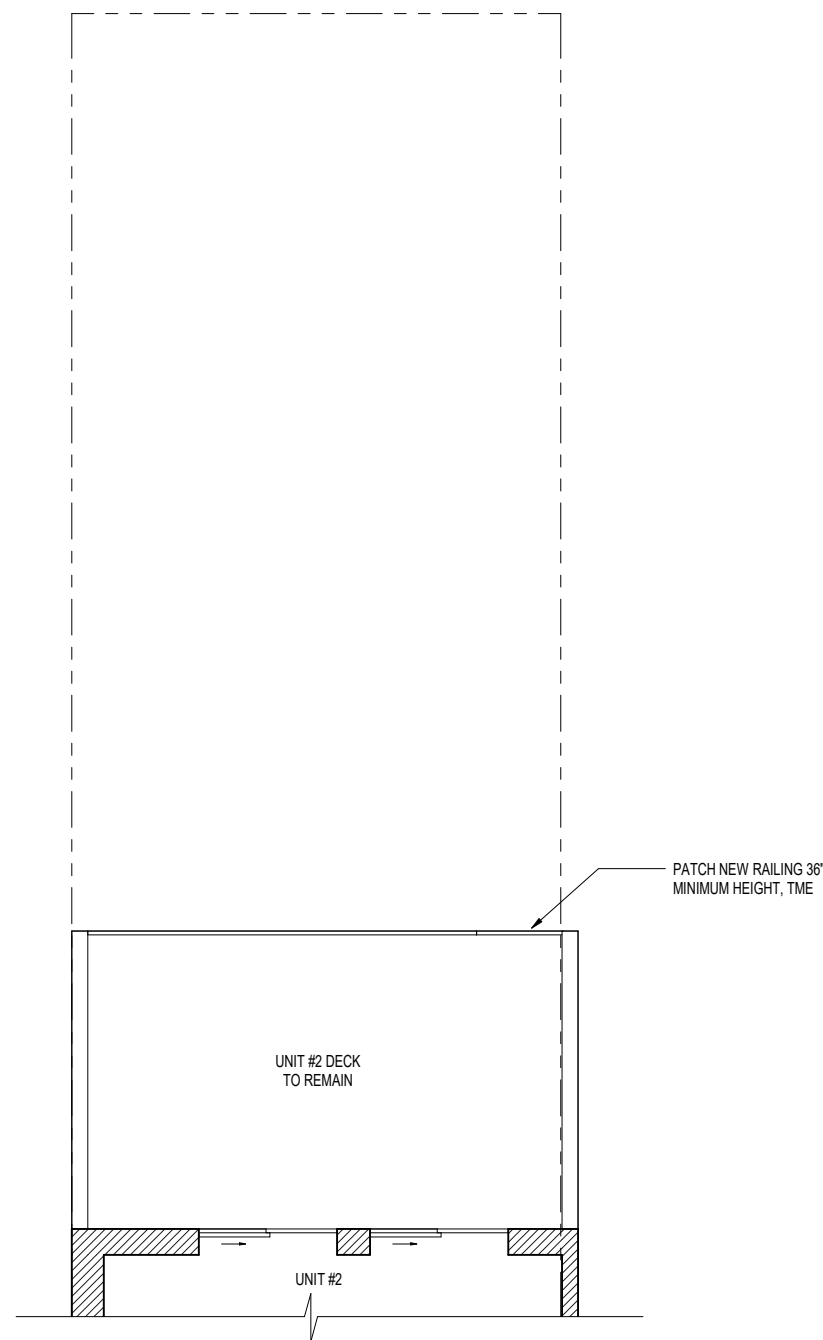
ARCHITECTS, LLC
4818 MacARTHUR BLVD NW
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TEL: 202.489.1103



**Pashayan
Residence**
1443 S. STREET, NW #1
WASHINGTON, DC 20009



1 THIRD FLOOR DEMOLITION PLAN - UNIT #2
1/8" = 1'-0"



2 THIRD FLOOR PROPOSED PLAN - UNIT #2
1/8" = 1'-0"

DEMOLITION NOTES

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7. PROTECT ALL FINISHES TO REMAIN

DEMOLITION LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED
	NOT IN SCOPE OF WORK

CONSTRUCTION LEGEND

	EXISTING TO REMAIN
	NEW STUD WALL: 2x6 @16" O.C. EXT. WALLS U.N.O. 2x4 @16" O.C. INT. WALLS U.N.O.
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WINDOW TO REMAIN
	NEW WINDOW
	NOT IN SCOPE OF WORK
	DIM. FRAMING DIMENSIONS (TO STUD OR MASONRY BEARING, U.N.O.)
	DIM. FINISH DIMENSIONS

NOTE:

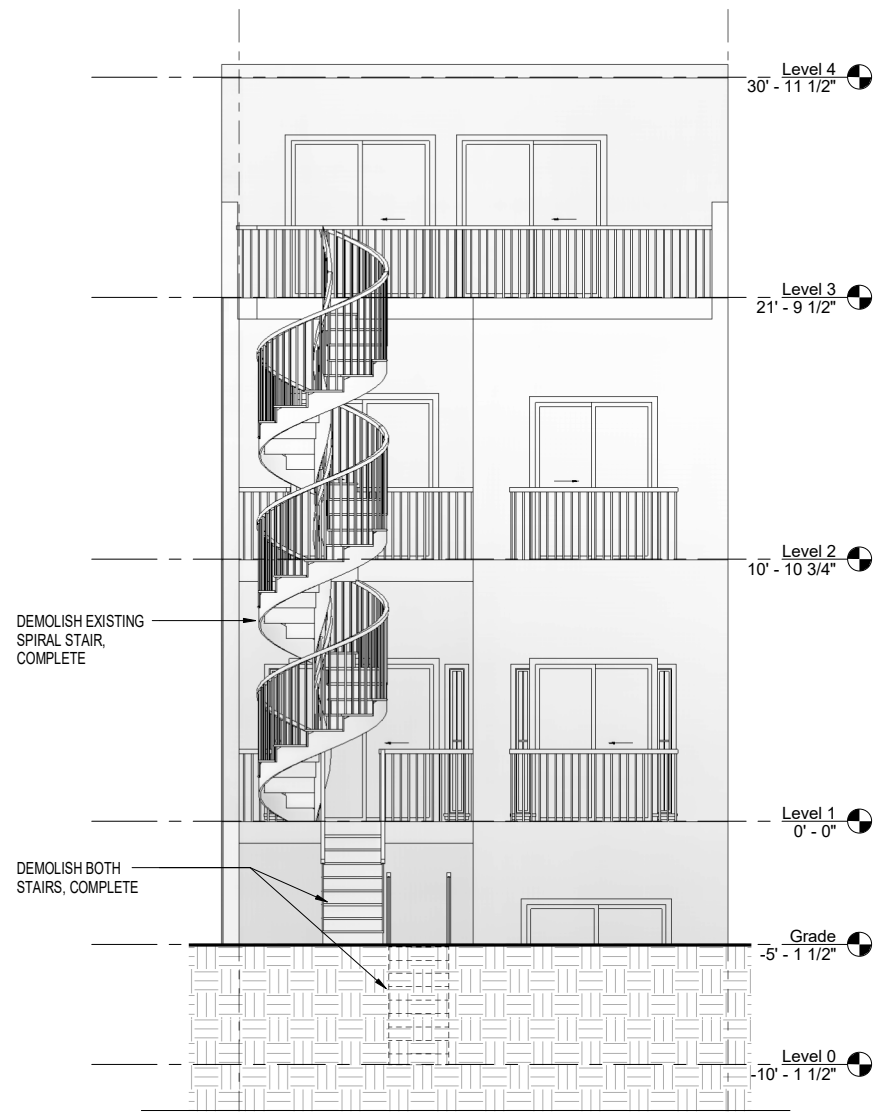
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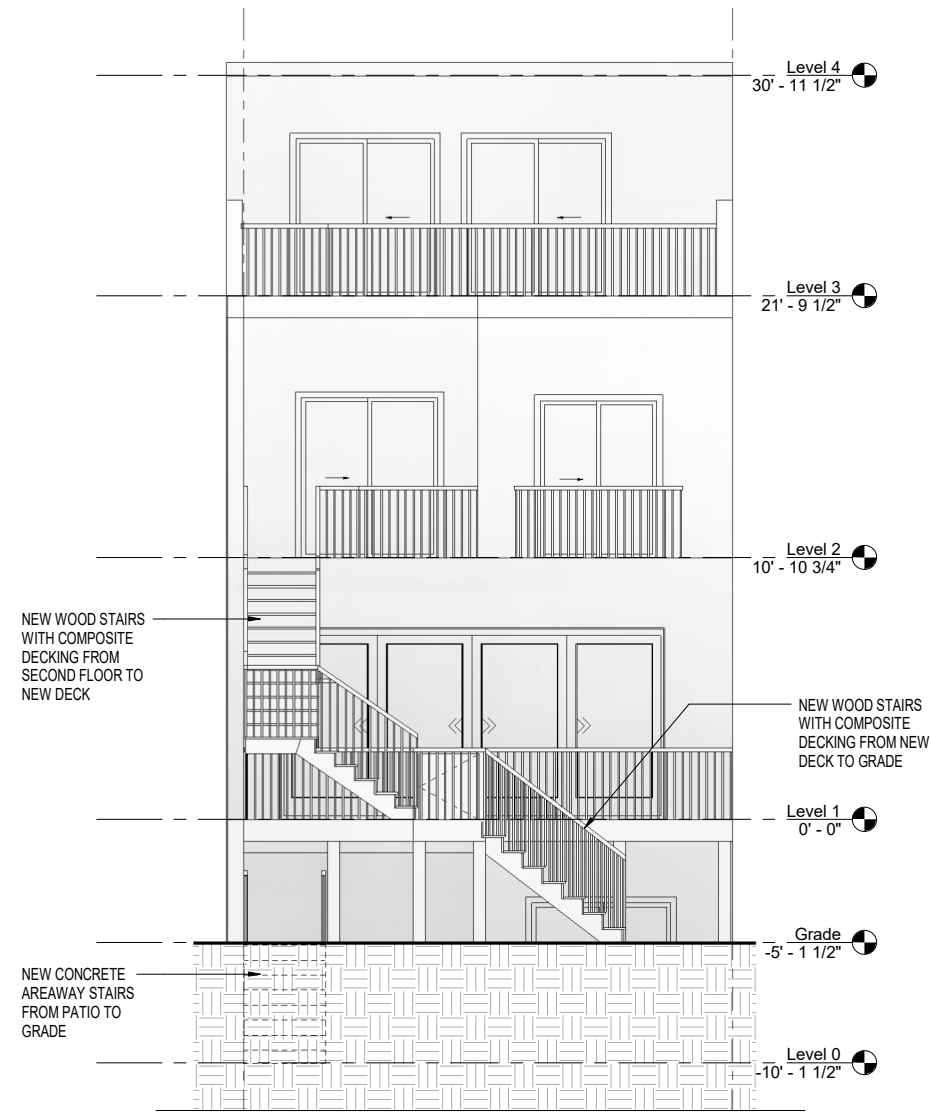
NORTH

DRAWING: DEMOLITION AND PROPOSED THIRD FLOOR PLANS
ISSUED: 04/06/22

A303



1 EXISTING REAR ELEVATION
1/8" = 1'-0"

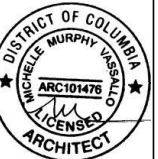


2 PROPOSED REAR ELEVATION
1/8" = 1'-0"

2206



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DRAWING: EXISTING AND PROPOSED EXTERIOR ELEVATIONS
ISSUED: 04/06/22

A400